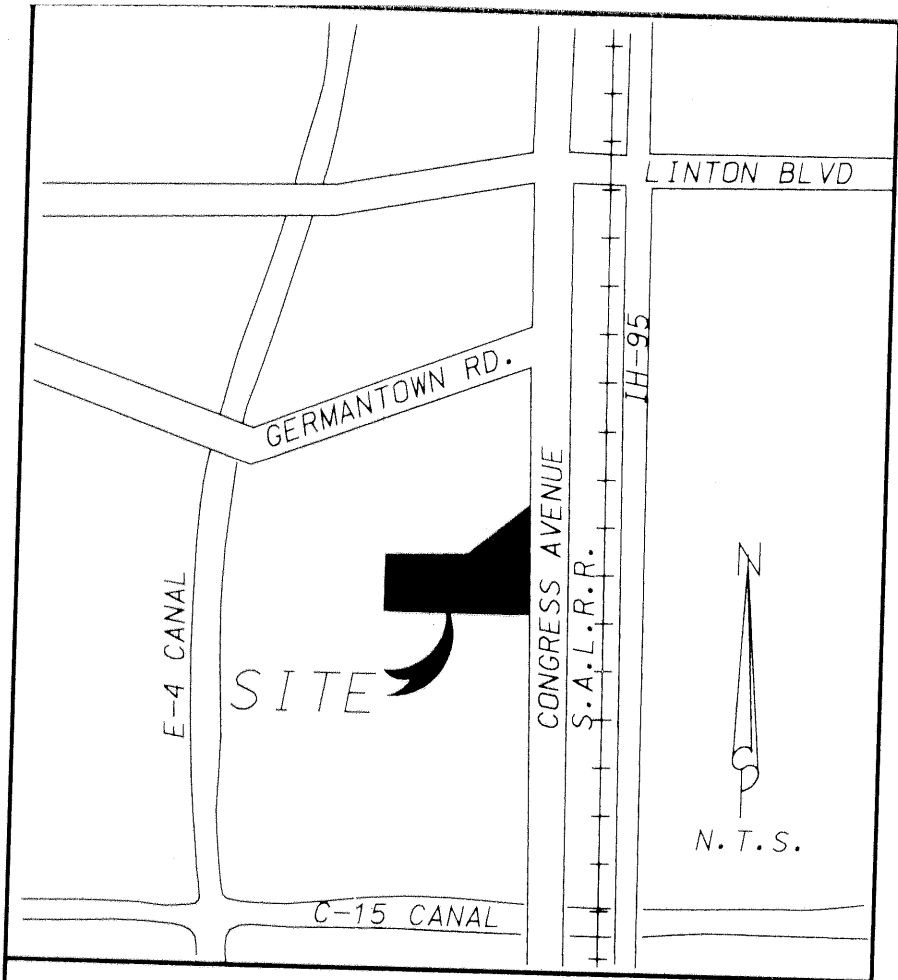
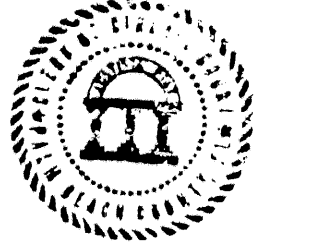


COUNTY OF PALM BEACH)
STATE OF FLORIDA) ss
This Plat was filed for record at 4:21 P.M.
this 23 day of APRIL 1996
and duly recorded in Plat Book No. 77
on page 53-55
DOROTHY H. WILKEN, Clerk of Circuit Court
by David A. Mack D.C.



LOCATION MAP

CATALFUMO P.O.C. PLAT

BEING A REPLAT OF PORTIONS OF THE TERRACES AT CENTRE' DELRAY,
AS RECORDED IN PLAT BOOK 45, PAGE 49, AND LAKESIDE
AT CENTRE' DELRAY AS RECORDED IN PLAT BOOK 50, PAGE
195, LOCATED IN SECTION 30, TOWNSHIP 46 SOUTH, RANGE
43 EAST, CITY OF DELRAY BEACH, PALM BEACH COUNTY, FLORIDA
MARCH 1996

SHEET 1 OF 3

DEDICATION:

KNOW ALL MEN BY THESE PRESENTS: that GEORGE T. ELMORE, AS TRUSTEE AND OFFICE DEPOT, INCORPORATED, A DELAWARE CORPORATION, LICENSED TO DO BUSINESS IN FLORIDA, are the owners of the land shown hereon, being in the East Half of Section 30, Township 46 South, Range 43 East, Palm Beach County, Florida, shown hereon as CATALFUMO P.O.C. PLAT, being more particularly described as follows:

A parcel of land in Section 30, Township 46 South, Range 43 East, Palm Beach County, Florida, being a replat of portions of the plat of THE TERRACES AT CENTRE' DELRAY, according to the plat thereof, recorded in Plat Book 45, Page 49, of the Public Records of Palm Beach County, Florida and a replat of portions of the plat of LAKESIDE AT CENTRE' DELRAY, according to the plat thereof, recorded in Plat Book 50, Page 195, of the Public Records of Palm Beach County, Florida, being more particularly described as follows:

Beginning at the point of intersection of the southeasterly line of the TERRACES AT CENTRE' DELRAY with the West right-of-way line of Congress Avenue (a 120 foot right-of-way) as shown on said plat; thence South 00°26'23" East along said West right-of-way line (The West right-of-way line of Congress Avenue is assumed to bear South 00°26'23" East and all other bearings stated herein are relative thereto) a distance of 1032.50 feet; thence South 89°03'43" West along the North line of the Plat of Sabal Pine Phase 2, and the Easterly prolongation thereof, as shown on said plat, recorded in Plat Book 39, Page 189, Public Records of Palm Beach County, Florida, a distance of 1234.38 feet to the Southeast corner of the plat of Environment 1, as recorded in Plat Book 43, Page 141, Public Records of Palm Beach County, Florida; thence North 00°24'16" West along the East line of said plat and the quarter section line of said Section 30, thence North 01°04'54" West along said common plat line a distance of 29.85 feet; thence North 88°47'07" East a distance of 589.00 feet to a point on the southeasterly line of said plat of Terraces at Centre' Delray; thence North 50°13'36" East along said plat line a distance of 834.45 feet to the point of beginning.

Containing in all 18.285 acres more or less.
HAVE CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN HEREON AND DO HEREBY DEDICATE AS FOLLOWS:

THE FOLLOWING EASEMENTS:

The drainage easement shown hereon is hereby dedicated to the owners of "THE REPLAT OF LAKESIDE AT CENTRE' DELRAY" for drainage purposes and shall be the perpetual maintenance obligation of said owners their successors and assigns.

All water easements and sewer easements shown hereon are made to the City of Delray Beach for the purpose of access to and repair of and installation of water and sewer mains.

Parcel 3 is hereby dedicated to the owners of the "Replat of the Terraces at Centre' Delray" and "Replat of Lakeside at Centre' Delray" for ingress and egress and shall be the perpetual maintenance obligation of the owners of "Catalfumo P.O.C. Plat", "Replat of the Terraces at Centre' Delray", and "Replat of Lakeside at Centre' Delray" their successors and assigns.

IN WITNESS WHEREOF, I GEORGE T. ELMORE, AS TRUSTEE, do hereon to set my hand and seal this 5 day of April, 1996.

Witness: Sharon C. Shively By: George T. Elmore
GEORGE T. ELMORE, AS TRUSTEE

ACKNOWLEDGMENT

STATE OF FLORIDA
COUNTY OF PALM BEACH

before me personally appeared GEORGE T. ELMORE, AS TRUSTEE who is personally known to me or has produced _____ as identification, and who executed the foregoing instrument,

and acknowledged before me that he executed said instrument for the purposes expressed therein.
Witness my hand and official seal this 5 day of April, 1996.

My commission expires: _____
Sharon C. Shively
Notary Public



IN WITNESS WHEREOF, the above-named corporation has caused these presents to be signed by its Executive Vice President and Chief Financial Officer and attested by its secretary, and its corporate seal to be affixed hereto by and with the authority of its Board of Directors, this 16th day of April, 1996.

WITNESS: Yis BY: Barry Goldstein

ATTEST: Richard Blewett
Asst. Secretary

OFFICE DEPOT, INCORPORATED
A DELAWARE CORPORATION, licenses to do business in Florida.
BARRY GOLDSTEIN, EXECUTIVE VICE PRESIDENT AND CHIEF FINANCIAL OFFICER (CORPORATE SEAL)

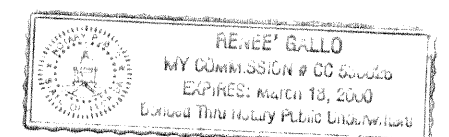
ACKNOWLEDGMENT

STATE OF FLORIDA
COUNTY OF PALM BEACH

before me personally appeared BARRY GOLDSTEIN who is personally known to me or has produced _____ as identification, and who executed the foregoing instrument as Executive Vice President and Chief Financial Officer of Office Depot, Incorporated, a corporation, and severally acknowledged to and before me that he executed such instrument as such officer of said corporation, and that the seal affixed to the foregoing instrument is the corporate seal of said corporation and that it was affixed to said instrument by due and regular corporate authority, and that said instrument is the free act and deed of said corporation.

Witness my hand and official seal this 16th day of April, 1996.

My commission expires: _____
René Lallo
Notary Public



I, James E. Jacoby, a duly licensed Attorney in the State of Florida, do hereby certify that I have examined the title to the herein described property; that I find that the title to the property is vested to GEORGE T. ELMORE, AS TRUSTEE AND OFFICE DEPOT, INCORPORATED; that the current taxes have been paid; that there are no mortgages or records; and that there are no other encumbrances of record.

Dated: April 16, 1996

James E. Jacoby
JAMES E. JACOBY
Attorney at Law
Florida Bar No. 369578

APPROVALS:

This plat of CATALFUMO P.O.C. PLAT was approved on the 16th day of April, A.D. 1996 by the City Commission of the City of Delray Beach, Florida.

Jay Alperin
MAYOR

ATTEST: Alison MacKugler Harty
CITY CLERK

and reviewed, accepted, and certified by:

Rene Dominguez
DIRECTOR OF PLANNING AND ZONING

Karen A. Kiehlowski
CHAIRPERSON, PLANNING AND ZONING BOARD

W. R. Butt
CITY ENGINEER

W. R. Butt
DIRECTOR OF ENVIRONMENTAL SERVICES

SURVEYOR'S CERTIFICATION

STATE OF FLORIDA) s.s.
COUNTY OF PALM BEACH)

I hereby certify that the plat shown hereon is a true and correct representation of a survey made under my responsible direction and supervision and that said survey is accurate to the best of my knowledge and belief; that the permanent reference monuments (p.r.m.'s) have been placed as required by law and permanent control points (p.c.p.'s) will be set as required by law, prior to the expiration of the bond or the other surety and further that the survey data complies with all the requirements of Chapter 177 Florida Statutes, as amended, and ordinances of the City of Delray Beach, Palm Beach County, Florida.

Date: APRIL 4, 1996

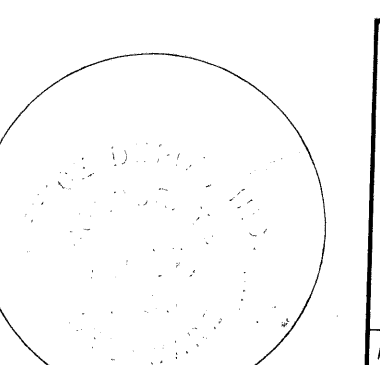
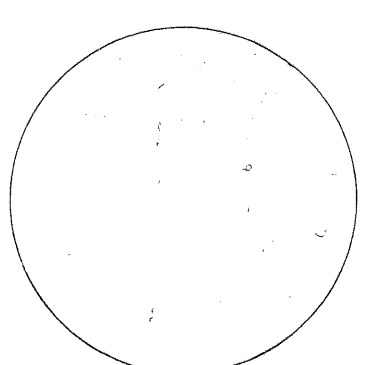
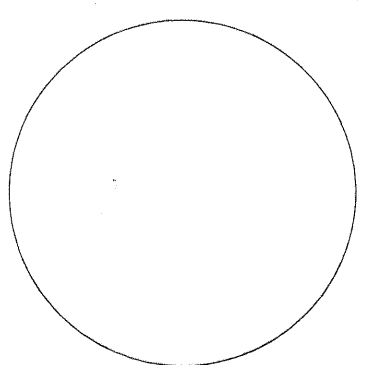
David C. Lidberg
Professional Surveyor and Mapper
Florida Certificate No. 3613

Surveyor's Notes:

- 1. There may be additional restrictions that are not recorded on this plat that may be found in the Public Records of Palm Beach County, Florida.
- 2. Where drainage and utility easements intersect, drainage easements will take precedence.
- 3. There shall be no trees, shrubs, or landscaping placed on water and sewer easements or drainage easements, except as shown on the approved final development plan and/or landscaping plan.
- 4. There shall be no buildings or any kind of construction placed on utility easements or drainage easements.
- 5. Bearing basis: Bearings hereon are based upon the Right-of-way of Congress Avenue, being South 00°26'23" East.
- 6. Indicates set permanent reference monument LS 3613.
- 7. Found permanent reference monument number LS 1601 unless noted otherwise.
- 8. D.E. = Drainage Easement
- 9. AC = Acres
- 10. O.R.B. = Official Record Book
- 11. O.D. = Overall distance
- 12. R.O.W. = RIGHT-OF-WAY

This instrument was prepared by David C. Lidberg in the offices of Lidberg Land Surveying, Inc. 675 West Indiantown Road, Suite 200 Jupiter, Florida 33458 (407) 746-8454

SUBDIVISION # CATALFUMO
BOOK 77 PAGE 53
FLOOD ZONE - FLOOD MAP # -
QUAD # - ZONING -
SE - ZIP CODE -
PUD NAME CITY OF DELRAY



LIDBERG LAND SURVEYING INC.
675 West Indiantown Road, Suite 200, Jupiter, Florida 33458 TEL. 407-746-8454

FLD.	JOB 95-772	FB.	PG.
OFF. E.A.O.	DATE 3-11-96	DWG.	095-772